

# ATTACHMENT A

## ATTACHMENT A

**SELECTED DRAWINGS AND  
PHOTOMONTAGES**

**HAROLD PARK - STAGE 2 - PRECINCT 1**



## HAROLD PARK PRECINCT 1 DEVELOPMENT APPLICATION MIRVAC DESIGN

ANNEXURE # 001				CONDITIONS # 001-020				ISSUED: 08/05/12																											
<p><b>Technical Performance Specifications</b></p> <p>These are the specifications for the development application for Harold Park Precinct 1. They are intended to be used in conjunction with the development application for Harold Park Precinct 1 and the development application for Harold Park Precinct 2. The specifications are intended to provide a consistent and comprehensive set of requirements for the development application process.</p> <p>The specifications are intended to provide a consistent and comprehensive set of requirements for the development application process. The specifications are intended to provide a consistent and comprehensive set of requirements for the development application process.</p>																																			
<p><b>Table 1: Building Requirements</b></p> <table border="1"> <thead> <tr> <th>Building Name</th> <th>Address</th> <th>Zone</th> <th>Permitted Use</th> <th>Maximum Building Height (m)</th> <th>Maximum Floor Area (sqm)</th> <th>Maximum Floor Area (sqm)</th> <th>Maximum Floor Area (sqm)</th> </tr> </thead> <tbody> <tr> <td>Harold Park Precinct 1</td> <td>100-120 Harold Park Road</td> <td>DUSS</td> <td>Residential (Medium Density)</td> <td>12.0</td> <td>2000</td> <td>2000</td> <td>2000</td> </tr> <tr> <td>Harold Park Precinct 2</td> <td>120-140 Harold Park Road</td> <td>DUSS</td> <td>Residential (Medium Density)</td> <td>12.0</td> <td>2000</td> <td>2000</td> <td>2000</td> </tr> </tbody> </table>												Building Name	Address	Zone	Permitted Use	Maximum Building Height (m)	Maximum Floor Area (sqm)	Maximum Floor Area (sqm)	Maximum Floor Area (sqm)	Harold Park Precinct 1	100-120 Harold Park Road	DUSS	Residential (Medium Density)	12.0	2000	2000	2000	Harold Park Precinct 2	120-140 Harold Park Road	DUSS	Residential (Medium Density)	12.0	2000	2000	2000
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NOTES: DA	
1. APPROVAL	This drawing is intended for use by the applicant only. It is not to be used for any other purpose without the written consent of the architect.
2. DESIGN	The design is based on the information provided by the applicant and is not intended to be used for any other purpose without the written consent of the architect.
3. SITE	The site is shown as a rectangular area with a perimeter of 100m by 100m. The site is located at the intersection of Harold Park Road and Harold Park Drive.
4. BUILDING	The building is shown as a rectangular structure with a footprint of 20m by 20m. The building is located at the intersection of Harold Park Road and Harold Park Drive.
5. UTILITIES	The utilities are shown as lines on the site plan. The utilities include water, sewer, and electricity.
6. LANDSCAPE	The landscape is shown as a series of green areas and trees. The landscape is intended to provide a pleasant and welcoming environment for the residents.
7. INFRASTRUCTURE	The infrastructure is shown as a series of lines and structures. The infrastructure includes roads, sidewalks, and parking areas.

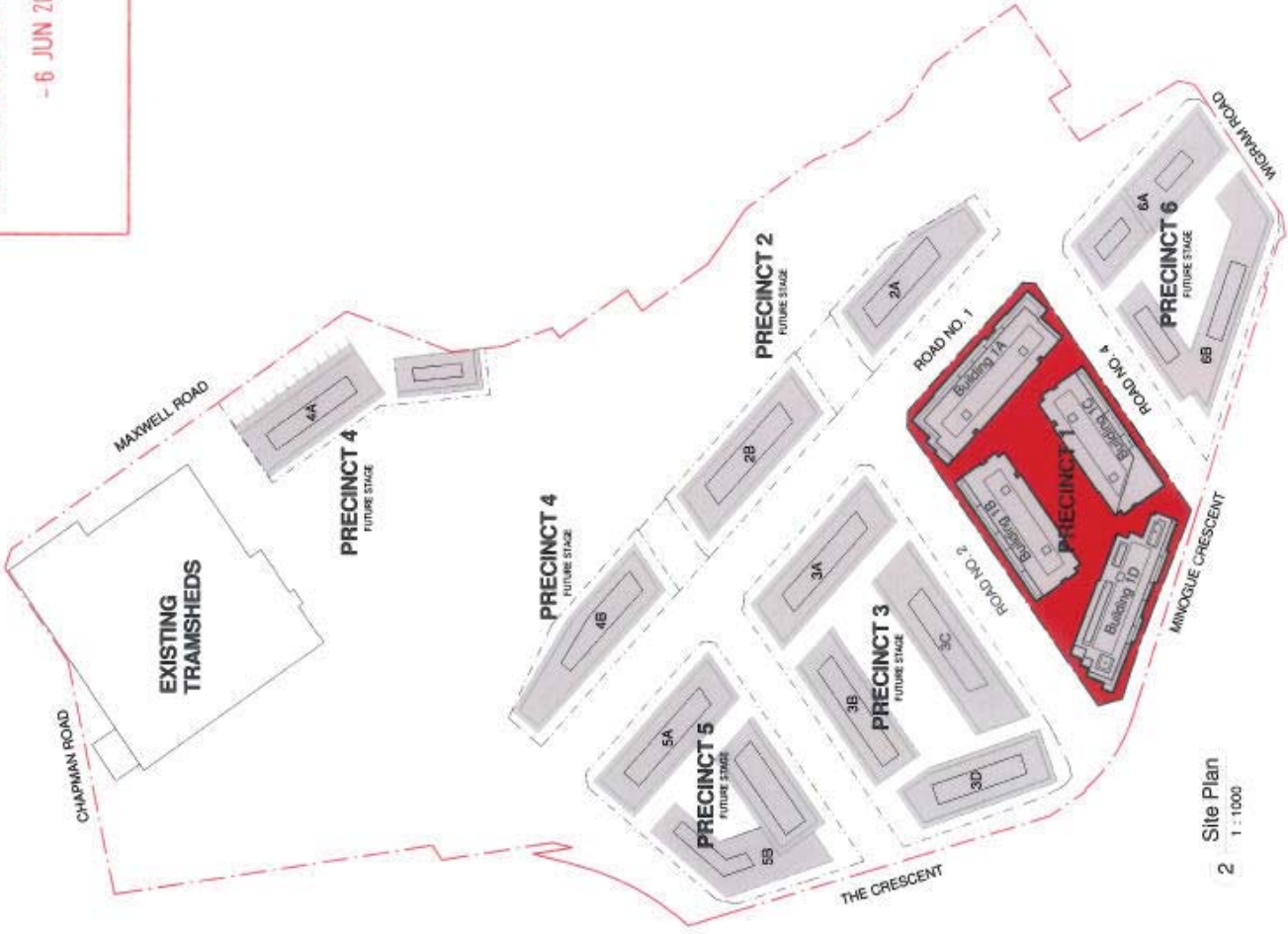
Sheet Number	Sheet Name
DA-P1-000	Cover Sheet
DA-P1-001	Location and Site Plan
DA-P1-002	Site Analysis Plan
DA-P1-003	Floor Plan - Basement 2
DA-P1-004	Floor Plan - Basement 1
DA-P1-005	Floor Plan - Level 1
DA-P1-006	Floor Plan - Level 2
DA-P1-007	Floor Plan - Level 3
DA-P1-008	Floor Plan - Level 4
DA-P1-009	Floor Plan - Level 5
DA-P1-010	Floor Plan - Level 6
DA-P1-011	Floor Plan - Level 7
DA-P1-012	Floor Plan - Level 8
DA-P1-013	Floor Plan - Roof
DA-P1-020	Elevations - Building A
DA-P1-021	Elevations - Building B
DA-P1-022	Elevations - Building C
DA-P1-023	Elevations - Building D
DA-P1-025	Section - A & B
DA-P1-030	Area Plans - Gross Floor Area GFA
DA-P1-040	Shadows - Winter Solstice-21 June
DA-P1-041	Shadows - Equinox-20 March
DA-P1-042	Shadows - Equinox-23 Sept
DA-P1-043	Shadows - Summer Solstice-22 Dec
DA-P1-050	Facade Elevations - Building A
DA-P1-051	Facade Elevations - Building B
DA-P1-052	Elevations - Exterior Fireproof Board
DA-P1-060	Adaptable Apartments
DA-P1-061	Adaptable Apartments
DA-P1-062	Adaptable Apartments
SK-000	Indicate Landscape Precinct 1 (Hassell Landscape)
SK-001	Site Analysis & Design: Precinct 1 (Hassell Landscape)
SK-002	Indicate Precinct 1 (Hassell Landscape)
SK-003	Deep Soil Assessment: Precinct 1 (Hassell Landscape)
SK-004	Soil Investigation: Precinct 1 (Hassell Landscape)

<p>1:190131 DA-001</p>	<p>Development Application</p> <p><b>Cover Sheet</b></p>	<p>Scale: 1:100</p> <p>Date: 08/05/2012</p> <p>Drawn by: DA-P1-000</p> <p>Sheet: B</p>

# ATTACHMENT A



**AMENDED DRAWINGS**  
 - 6 JUN 2012



2 Site Plan  
1 : 1000



1 Location Plan  
1 : 5000

**MIRVAC**  
 1. APPROVALS  
 2. DEVELOPMENT APPLICATION  
 3. LOCAL GOVERNMENT APPROVALS  
 4. STATE GOVERNMENT APPROVALS  
 5. FEDERAL GOVERNMENT APPROVALS  
 6. FINANCIAL INSTITUTIONS  
 7. LEGAL ADVICE  
 8. ENVIRONMENTAL IMPACT STATEMENT  
 9. SOCIAL IMPACT STATEMENT  
 10. CULTURAL IMPACT STATEMENT  
 11. ARCHITECTURAL DESIGN  
 12. LANDSCAPE ARCHITECTURE  
 13. CIVIL ENGINEERING  
 14. STRUCTURAL ENGINEERING  
 15. ELECTRICAL ENGINEERING  
 16. MECHANICAL ENGINEERING  
 17. PLUMBING  
 18. PAINTING  
 19. CARPENTRY  
 20. CONCRETE  
 21. GLAZING  
 22. ROOFING  
 23. FLOORING  
 24. JOINERY  
 25. SIGNAGE  
 26. SECURITY  
 27. FENCING  
 28. LIGHTING  
 29. LANDSCAPING  
 30. IRRIGATION  
 31. PAVING  
 32. CONCRETE CURBING  
 33. CONCRETE FINISHES  
 34. CONCRETE FORMWORK  
 35. CONCRETE REINFORCEMENT  
 36. CONCRETE CASTING  
 37. CONCRETE CURING  
 38. CONCRETE CLEANING  
 39. CONCRETE POLISHING  
 40. CONCRETE REPAIRS  
 41. CONCRETE DEMOLITION  
 42. CONCRETE DISPOSAL  
 43. CONCRETE RECYCLING  
 44. CONCRETE TESTING  
 45. CONCRETE INSPECTION  
 46. CONCRETE MAINTENANCE  
 47. CONCRETE PROTECTION  
 48. CONCRETE COATING  
 49. CONCRETE SEALING  
 50. CONCRETE STAINING  
 51. CONCRETE TINTING  
 52. CONCRETE COLORING  
 53. CONCRETE TEXTURING  
 54. CONCRETE PATTERNING  
 55. CONCRETE SCULPTURE  
 56. CONCRETE ART  
 57. CONCRETE DESIGN  
 58. CONCRETE CONSTRUCTION  
 59. CONCRETE PROJECT MANAGEMENT  
 60. CONCRETE CONSULTING

Development Application  
**Location and Site Plan**  
 Precinct 1

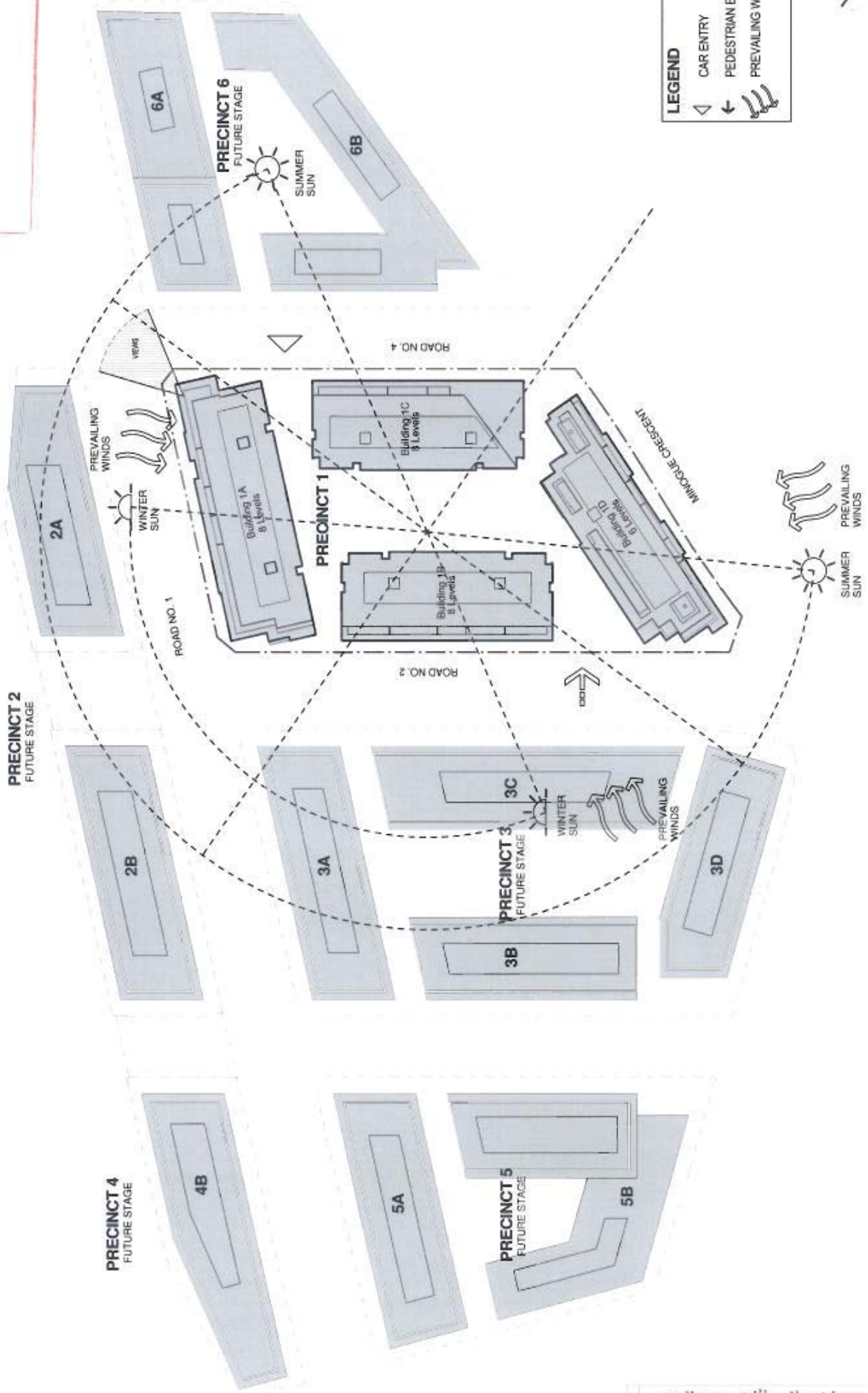
HASSELL  
 ARCHITECTS

Mirvac Design  
 CIVIL ENGINEERING

mirvac  
 MIRRORS OF LIFE

Harold Park - Precinct 1  
 Glebe, NSW

Date: 06/06/2012  
 Scale: 1:1000  
 Drawing No: DA-P1-001



**LEGEND**

- CAR ENTRY
- PEDESTRIAN ENTRY
- PREVAILING WINDS



**NOTES:**

1. All dimensions are in meters unless otherwise stated.
2. The site is shown as a series of blocks, each with its own set of dimensions.
3. The site is shown as a series of blocks, each with its own set of dimensions.
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9. The site is shown as a series of blocks, each with its own set of dimensions.
10. The site is shown as a series of blocks, each with its own set of dimensions.

DATE: 11/06/12  
 PREPARED BY: J. HASSALL  
 CHECKED BY: J. HASSALL  
 DRAWING NO: DA-P1-1002  
 SHEET NO: 1 OF 1

Development Application  
**Site Analysis Plan**  
**Precinct 1**

**HASSALL**

Mirvac Design

**MIRVAC**

Harold Park - Precinct 1  
 Green NSW



AMENDED DRAWINGS

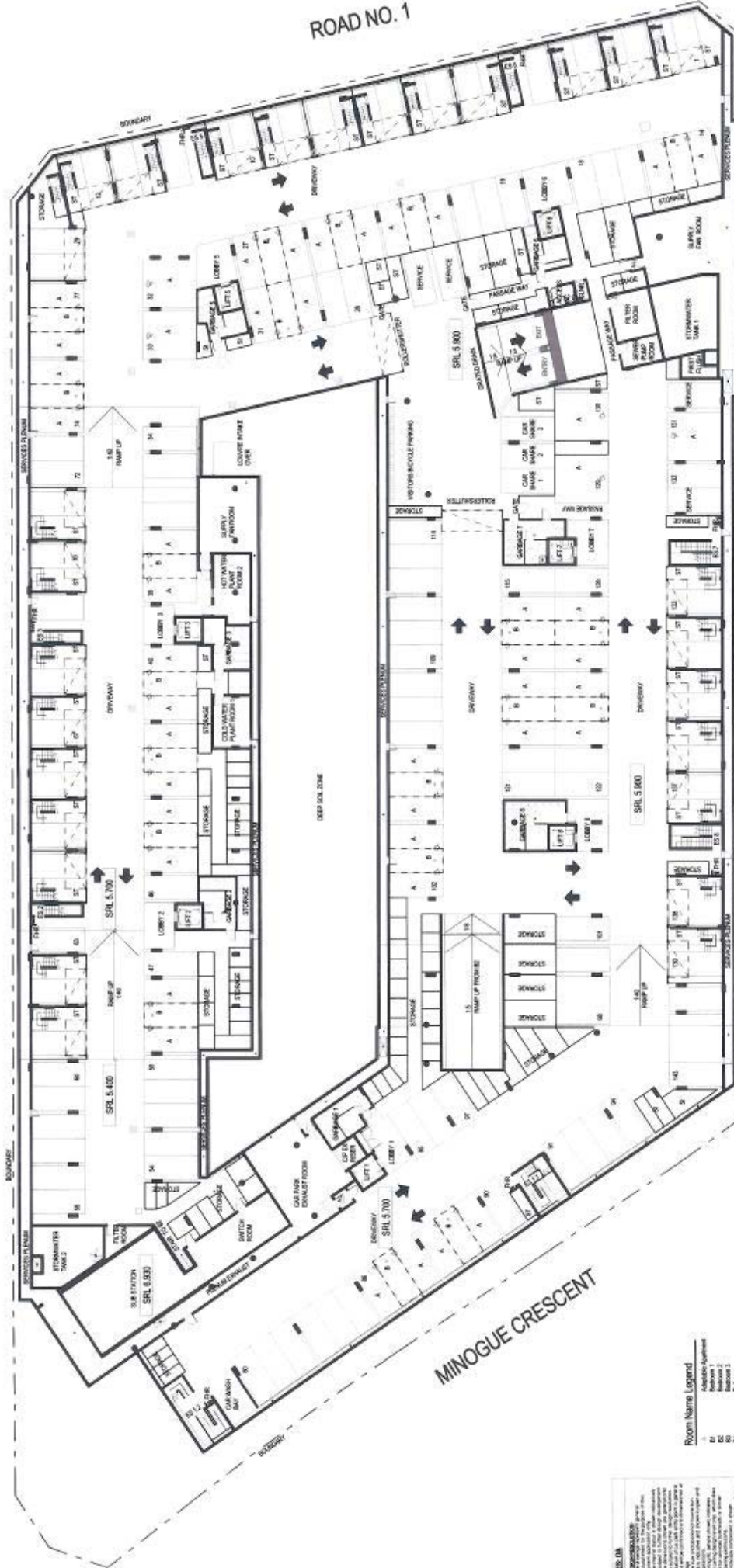
- 6 JUN 2012

# ATTACHMENT A



ROAD NO. 2

ROAD NO. 1

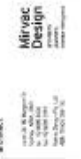


**Room Name Legend**

ST	Storage
STOR	Storage
STOR1	Storage
STOR2	Storage
STOR3	Storage
STOR4	Storage
STOR5	Storage
STOR6	Storage
STOR7	Storage
STOR8	Storage
STOR9	Storage
STOR10	Storage
STOR11	Storage
STOR12	Storage
STOR13	Storage
STOR14	Storage
STOR15	Storage
STOR16	Storage
STOR17	Storage
STOR18	Storage
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STOR62	Storage
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STOR93	Storage
STOR94	Storage
STOR95	Storage
STOR96	Storage
STOR97	Storage
STOR98	Storage
STOR99	Storage
STOR100	Storage

Scale: 1:50  
 Date: 17/05/12  
 Drawn: [Name]  
 Checked: [Name]  
 Project: DA-P1-004

Development Application  
**Floor Plan - Basement 1**  
 Precinct 1



Project: **Harold Park - Precinct 1**  
 Camden, NSW

Client: Mirvac  
 Architect: Hassell  
 Designer: Mirvac Design  
 Date: 17/05/12  
 Scale: 1:50  
 Drawing No: DA-P1-004 Rev: B



# ATTACHMENT A

**AMENDED DRAWINGS**  
 - 6 JUN 2012



**Room Name Legend**

A	Apartment
B	Bedroom
C	Car Park
D	Day Room
E	Entrance
F	Garage
G	Garage
H	Hallway
I	Indoor Pool
J	Janitor
K	Kitchen
L	Laundry
M	Living
N	Night
O	Office
P	Pool
Q	Pool
R	Reception
S	Storage
T	Storage
U	Storage
V	Storage
W	Storage
X	Storage
Y	Storage
Z	Storage

**NOTES:**

1. REFER TO THE DEVELOPMENT APPLICATION FOR A FULL LIST OF ROOMS AND AREAS.
2. THE ROOMS ARE IDENTIFIED BY LETTERS AND NUMBERS.
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10. THE ROOMS ARE IDENTIFIED BY LETTERS AND NUMBERS.

Drawing No: DA-P1-006 Rev: B  
 Date: 06 JUN 2012  
 Scale: 1:1000  
 Project: Harold Park - Precinct 1

**Development Application**  
**Floor Plan - Level 2**  
**Precinct 1**

**Harold Park - Precinct 1**  
 Check NSW





**Room Name Legend**

A	Administration
B	Bedroom
BI	Bedroom 1
BS	Bedroom 2
BL	Bedroom 3
BR	Bedroom 4
CL	Common
CP	Common Pool
CPK	Common Pool Kitchen
CPD	Common Pool Deck
CPG	Common Pool Garage
CPH	Common Pool Hallway
CPV	Common Pool View
CPW	Common Pool Wall
CPX	Common Pool Other
CPY	Common Pool Yard
CPZ	Common Pool Zone
CPAA	Common Pool Area
CPAB	Common Pool Area 2
CPAC	Common Pool Area 3
CPAD	Common Pool Area 4
CPAE	Common Pool Area 5
CPAF	Common Pool Area 6
CPAG	Common Pool Area 7
CPAH	Common Pool Area 8
CPAI	Common Pool Area 9
CPAJ	Common Pool Area 10
CPAK	Common Pool Area 11
CPAL	Common Pool Area 12
CPAM	Common Pool Area 13
CPAN	Common Pool Area 14
CPAO	Common Pool Area 15
CPAP	Common Pool Area 16
CPAQ	Common Pool Area 17
CPAR	Common Pool Area 18
CPAS	Common Pool Area 19
CPAT	Common Pool Area 20
CPAU	Common Pool Area 21
CPAV	Common Pool Area 22
CPAW	Common Pool Area 23
CPAX	Common Pool Area 24
CPAY	Common Pool Area 25
CPAZ	Common Pool Area 26
CPAA	Common Pool Area 27
CPAB	Common Pool Area 28
CPAC	Common Pool Area 29
CPAD	Common Pool Area 30
CPAE	Common Pool Area 31
CPAF	Common Pool Area 32
CPAG	Common Pool Area 33
CPAH	Common Pool Area 34
CPAI	Common Pool Area 35
CPAJ	Common Pool Area 36
CPAK	Common Pool Area 37
CPAL	Common Pool Area 38
CPAM	Common Pool Area 39
CPAN	Common Pool Area 40
CPAO	Common Pool Area 41
CPAP	Common Pool Area 42
CPAQ	Common Pool Area 43
CPAR	Common Pool Area 44
CPAS	Common Pool Area 45
CPAT	Common Pool Area 46
CPAU	Common Pool Area 47
CPAV	Common Pool Area 48
CPAW	Common Pool Area 49
CPAX	Common Pool Area 50
CPAY	Common Pool Area 51
CPAZ	Common Pool Area 52
CPAA	Common Pool Area 53
CPAB	Common Pool Area 54
CPAC	Common Pool Area 55
CPAD	Common Pool Area 56
CPAE	Common Pool Area 57
CPAF	Common Pool Area 58
CPAG	Common Pool Area 59
CPAH	Common Pool Area 60
CPAI	Common Pool Area 61
CPAJ	Common Pool Area 62
CPAK	Common Pool Area 63
CPAL	Common Pool Area 64
CPAM	Common Pool Area 65
CPAN	Common Pool Area 66
CPAO	Common Pool Area 67
CPAP	Common Pool Area 68
CPAQ	Common Pool Area 69
CPAR	Common Pool Area 70
CPAS	Common Pool Area 71
CPAT	Common Pool Area 72
CPAU	Common Pool Area 73
CPAV	Common Pool Area 74
CPAW	Common Pool Area 75
CPAX	Common Pool Area 76
CPAY	Common Pool Area 77
CPAZ	Common Pool Area 78
CPAA	Common Pool Area 79
CPAB	Common Pool Area 80
CPAC	Common Pool Area 81
CPAD	Common Pool Area 82
CPAE	Common Pool Area 83
CPAF	Common Pool Area 84
CPAG	Common Pool Area 85
CPAH	Common Pool Area 86
CPAI	Common Pool Area 87
CPAJ	Common Pool Area 88
CPAK	Common Pool Area 89
CPAL	Common Pool Area 90
CPAM	Common Pool Area 91
CPAN	Common Pool Area 92
CPAO	Common Pool Area 93
CPAP	Common Pool Area 94
CPAQ	Common Pool Area 95
CPAR	Common Pool Area 96
CPAS	Common Pool Area 97
CPAT	Common Pool Area 98
CPAU	Common Pool Area 99
CPAV	Common Pool Area 100
CPAW	Common Pool Area 101
CPAX	Common Pool Area 102
CPAY	Common Pool Area 103
CPAZ	Common Pool Area 104
CPAA	Common Pool Area 105
CPAB	Common Pool Area 106
CPAC	Common Pool Area 107
CPAD	Common Pool Area 108
CPAE	Common Pool Area 109
CPAF	Common Pool Area 110
CPAG	Common Pool Area 111
CPAH	Common Pool Area 112
CPAI	Common Pool Area 113
CPAJ	Common Pool Area 114
CPAK	Common Pool Area 115
CPAL	Common Pool Area 116
CPAM	Common Pool Area 117
CPAN	Common Pool Area 118
CPAO	Common Pool Area 119
CPAP	Common Pool Area 120
CPAQ	Common Pool Area 121
CPAR	Common Pool Area 122
CPAS	Common Pool Area 123
CPAT	Common Pool Area 124
CPAU	Common Pool Area 125
CPAV	Common Pool Area 126
CPAW	Common Pool Area 127
CPAX	Common Pool Area 128
CPAY	Common Pool Area 129
CPAZ	Common Pool Area 130

**NOTES**

1. GENERAL NOTES
2. ROOM SCHEDULE
3. ROOM DIMENSIONS
4. ROOM FINISHES
5. ROOM EQUIPMENT
6. ROOM SERVICES
7. ROOM ACCESS
8. ROOM SECURITY
9. ROOM COMPLIANCE
10. ROOM SCHEDULE
11. ROOM DIMENSIONS
12. ROOM FINISHES
13. ROOM EQUIPMENT
14. ROOM SERVICES
15. ROOM ACCESS
16. ROOM SECURITY
17. ROOM COMPLIANCE

Scale: 1:500  
 Date: 06 Jun 2012  
 Drawn by: DA-P1-007  
 Checked by: DA-P1-007  
 Project: Harold Park - Precinct 1  
 Client: GARDEN NSW  
 Architect: mirvac  
 Mirvac Design  
 Hassell  
 Development Application  
 Floor Plan - Level 3  
 Precinct 1



**AMENDED DRAWINGS**  
- 6 JUN 2012

# ATTACHMENT A



**Room Name Legend**

Room Name	Abbreviation
Apartment	AP
Attic	AT
Basement 1	B1
Basement 2	B2
Basement 3	B3
Basement 4	B4
Basement 5	B5
Basement 6	B6
Basement 7	B7
Basement 8	B8
Basement 9	B9
Basement 10	B10
Basement 11	B11
Basement 12	B12
Basement 13	B13
Basement 14	B14
Basement 15	B15
Basement 16	B16
Basement 17	B17
Basement 18	B18
Basement 19	B19
Basement 20	B20
Basement 21	B21
Basement 22	B22
Basement 23	B23
Basement 24	B24
Basement 25	B25
Basement 26	B26
Basement 27	B27
Basement 28	B28
Basement 29	B29
Basement 30	B30
Basement 31	B31
Basement 32	B32
Basement 33	B33
Basement 34	B34
Basement 35	B35
Basement 36	B36
Basement 37	B37
Basement 38	B38
Basement 39	B39
Basement 40	B40
Basement 41	B41
Basement 42	B42
Basement 43	B43
Basement 44	B44
Basement 45	B45
Basement 46	B46
Basement 47	B47
Basement 48	B48
Basement 49	B49
Basement 50	B50
Basement 51	B51
Basement 52	B52
Basement 53	B53
Basement 54	B54
Basement 55	B55
Basement 56	B56
Basement 57	B57
Basement 58	B58
Basement 59	B59
Basement 60	B60
Basement 61	B61
Basement 62	B62
Basement 63	B63
Basement 64	B64
Basement 65	B65
Basement 66	B66
Basement 67	B67
Basement 68	B68
Basement 69	B69
Basement 70	B70
Basement 71	B71
Basement 72	B72
Basement 73	B73
Basement 74	B74
Basement 75	B75
Basement 76	B76
Basement 77	B77
Basement 78	B78
Basement 79	B79
Basement 80	B80
Basement 81	B81
Basement 82	B82
Basement 83	B83
Basement 84	B84
Basement 85	B85
Basement 86	B86
Basement 87	B87
Basement 88	B88
Basement 89	B89
Basement 90	B90
Basement 91	B91
Basement 92	B92
Basement 93	B93
Basement 94	B94
Basement 95	B95
Basement 96	B96
Basement 97	B97
Basement 98	B98
Basement 99	B99
Basement 100	B100

**NOTES**

1. REFER TO THE ARCHITECTURAL DRAWINGS FOR THE LATEST REVISIONS.
2. THE DRAWINGS SHALL BE USED IN ACCORDANCE WITH THE CONDITIONS OF CONTRACT.
3. THE DRAWINGS SHALL BE USED IN ACCORDANCE WITH THE CONDITIONS OF CONTRACT.
4. THE DRAWINGS SHALL BE USED IN ACCORDANCE WITH THE CONDITIONS OF CONTRACT.
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PROJECT: **Harold Park - Precinct 1**  
 Client: **mirvac**  
 ARCHITECT: **Mirvac Design**  
 SCALE: A1: As Issued  
 DATE: Feb 2012  
 DRAWING NO: DA-P1-009  
 SHEET: B

Development Application  
**Floor Plan - Level 5**  
**Precinct 1**



**Room Name Legend**

Room Name	Accessible Apartment
A	Access
B	Bathroom
CE	Car Elevator
BE	Bicycle Storage
DL	Dormitory
CL	Car Park
CC	Carport
CL	Common
CC	Commercial
CC	Compass
CL	Convenience
CL	Convenience
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**NOTES ON DRAWINGS**

1. This drawing is part of the development application for the Harold Park - Precinct 1, located at the corner of Road No. 1 and Minogue Crescent, Harold Park, NSW.
2. The drawing is subject to the conditions of approval of the development application.
3. The drawing is not to be used for any other purpose without the consent of the architect.
4. The drawing is not to be used for any other purpose without the consent of the architect.
5. The drawing is not to be used for any other purpose without the consent of the architect.

Project: **Harold Park - Precinct 1**  
Client: **MIRVAC**

Development Application  
**Floor Plan - Level 6**  
Precinct 1

Architect: **MIRVAC DESIGN**

Engineer: **HASSELL**

Surveyor: **MIRVAC**

Scale: 1:500  
Date: 24/06/2017  
Drawing No: DA-P1-010  
Page: 6

# ATTACHMENT A

AMENDED DRAWINGS

- 6 JUN 2012

ROAD NO. 2

Building 1B

ROAD NO. 1

Building 1A



**Room Name Legend**

Room Name	Abbreviation
Room 1	R1
Room 2	R2
Room 3	R3
Room 4	R4
Room 5	R5
Room 6	R6
Room 7	R7
Room 8	R8
Room 9	R9
Room 10	R10
Room 11	R11
Room 12	R12
Room 13	R13
Room 14	R14
Room 15	R15
Room 16	R16
Room 17	R17
Room 18	R18
Room 19	R19
Room 20	R20
Room 21	R21
Room 22	R22
Room 23	R23
Room 24	R24
Room 25	R25
Room 26	R26
Room 27	R27
Room 28	R28
Room 29	R29
Room 30	R30
Room 31	R31
Room 32	R32
Room 33	R33
Room 34	R34
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Room 37	R37
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Room 41	R41
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Room 92	R92
Room 93	R93
Room 94	R94
Room 95	R95
Room 96	R96
Room 97	R97
Room 98	R98
Room 99	R99
Room 100	R100

**NOTES:**

1. REFER TO ALL DRAWINGS FOR DIMENSIONS AND LEVELS.
2. REFER TO ALL DRAWINGS FOR MATERIALS AND FINISHES.
3. REFER TO ALL DRAWINGS FOR STRUCTURAL REQUIREMENTS.
4. REFER TO ALL DRAWINGS FOR SERVICES AND UTILITIES.
5. REFER TO ALL DRAWINGS FOR LANDSCAPE AND GREEN ROOF REQUIREMENTS.
6. REFER TO ALL DRAWINGS FOR SAFETY AND ACCESS REQUIREMENTS.
7. REFER TO ALL DRAWINGS FOR COMPLIANCE WITH ALL APPLICABLE STANDARDS AND REGULATIONS.
8. REFER TO ALL DRAWINGS FOR CLIENT REQUIREMENTS AND SPECIFICATIONS.
9. REFER TO ALL DRAWINGS FOR DESIGNER'S INTENT AND NOTES.
10. REFER TO ALL DRAWINGS FOR ANY AMENDMENTS OR REVISIONS.

DATE: 17/01/12  
 DRAWN BY: A. WOODS  
 CHECKED BY: D. P. O'NEILL  
 PROJECT: DA-P1-011

Development Application  
 Floor Plan - Level 7  
 Precinct 1



**HASSELL**  
 ARCHITECTS  
 100/102 GERRARD STREET EAST  
 MELBOURNE VIC 3000  
 PH: 03 9412 3000  
 FAX: 03 9412 3001  
 WWW.HASSELLARCHITECTS.COM.AU

**MIRVAC DESIGN**  
 ARCHITECTS  
 100/102 GERRARD STREET EAST  
 MELBOURNE VIC 3000  
 PH: 03 9412 3000  
 FAX: 03 9412 3001  
 WWW.MIRVACDESIGN.COM.AU

**MIRVAC**  
 100/102 GERRARD STREET EAST  
 MELBOURNE VIC 3000  
 PH: 03 9412 3000  
 FAX: 03 9412 3001  
 WWW.MIRVAC.COM.AU

**MIRVAC**  
 100/102 GERRARD STREET EAST  
 MELBOURNE VIC 3000  
 PH: 03 9412 3000  
 FAX: 03 9412 3001  
 WWW.MIRVAC.COM.AU

**Harold Park - Precinct 1**  
 GMSB, NSW  
 PROJECT NO: 100/102 GERRARD STREET EAST  
 MELBOURNE VIC 3000  
 PH: 03 9412 3000  
 FAX: 03 9412 3001  
 WWW.MIRVAC.COM.AU

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	17/01/12	ISSUED FOR PERMIT
2	17/01/12	ISSUED FOR PERMIT
3	17/01/12	ISSUED FOR PERMIT
4	17/01/12	ISSUED FOR PERMIT
5	17/01/12	ISSUED FOR PERMIT
6	17/01/12	ISSUED FOR PERMIT
7	17/01/12	ISSUED FOR PERMIT
8	17/01/12	ISSUED FOR PERMIT
9	17/01/12	ISSUED FOR PERMIT
10	17/01/12	ISSUED FOR PERMIT

AMENDED DRAWINGS

- 6 JUN 2012

# ATTACHMENT A



**Room Name Legend**

Room Name	Abbreviation
Accommodation	AK
Alcove	AL
Bathroom 1	B1
Bathroom 2	B2
Bedroom	BR
Breakroom	BRK
Car Park Entry	CP
Car Park	CPK
Common Area	CA
Entrance	ENT
Energy Room	ER
Garage Room	GR
Kitchen	K
Laundry	L
Living Room	LR
Office	O
Storage	S
Stair	ST

**NOTES**

1. REFER TO THE ARCHITECTURAL DRAWINGS FOR THE LOCATION OF THE BUILDINGS AND THE EXISTING SERVICES.
2. THE EXISTING SERVICES ARE SHOWN IN RED AND THE PROPOSED SERVICES ARE SHOWN IN BLUE.
3. THE PROPOSED SERVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY.
4. THE PROPOSED SERVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY.
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10. THE PROPOSED SERVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY.

Building 1B

ROAD NO. 2

Building 1A

ROAD NO. 1

ROAD NO. 4

Building 1C

MINOGUE CRESCENT

Building 1D

DATE: 06 JUN 2012  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT: DA-P1-012 rev B

Development Application  
 Floor Plan - Level 8  
 Precinct 1



HASSELL

Mirvac Design

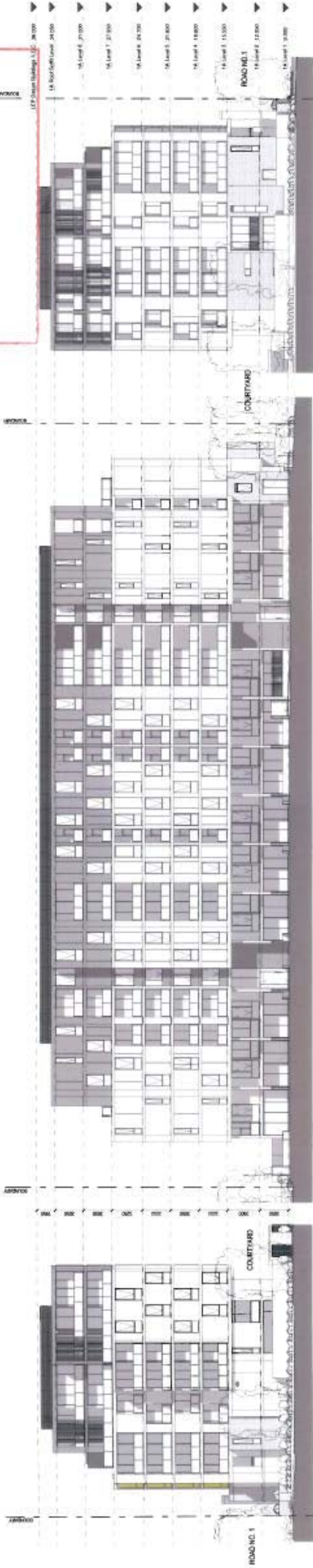


Project: Harold Park - Precinct 1  
 Green NSW



AMENDED DRAWINGS

- 6 JUN 2012



# ATTACHMENT A



**NOTES: DA**

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AND ITS STRUCTURE. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS OR THE COMPLETION OF THE PROJECT.
3. THE ARCHITECT HAS CONDUCTED VISUAL ACCESSIBILITY STUDIES IN ACCORDANCE WITH THE VISUAL ACCESSIBILITY STANDARDS (V.A.S.) AND HAS IDENTIFIED VISUAL CORRIDORS AND VISUAL BARRIERS. VISUAL ACCESSIBILITY STUDIES HAVE BEEN CONDUCTED FOR ALL VISUAL CORRIDORS AND VISUAL BARRIERS IDENTIFIED IN THE VISUAL ACCESSIBILITY STUDIES.
4. VISUAL ACCESSIBILITY STUDIES HAVE BEEN CONDUCTED FOR ALL VISUAL CORRIDORS AND VISUAL BARRIERS IDENTIFIED IN THE VISUAL ACCESSIBILITY STUDIES.
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Project: **Harold Park - Precinct 1**  
 Client: **Centre NSW**

Architect: **MIRVAC**

Development Application: **Elevations - Building A**  
 Precinct 1

Scale: 1:200  
 Date: 14 JUN 2012  
 Drawing No: DA-P1-020

Site: 100  
 Drawing No: DA-P1-020

Site: 100  
 Drawing No: DA-P1-020

Site: 100  
 Drawing No: DA-P1-020

Site: 100  
 Drawing No: DA-P1-020



AMENDED DRAWINGS

- 6 JUN 2012



1 Building B - South West Elevation  
1 : 200

2 Building B - South East Elevation  
1 : 200

3 Building B - North East Elevation  
1 : 200



4 Building B - North West Elevation - Road No. 2  
1 : 200

BUILDING B

BUILDING D



5 Key Plan  
5 N.T.S.

**NOTES**

1. GENERAL NOTES
2. ARCHITECTURAL NOTES
3. STRUCTURAL NOTES
4. MECHANICAL NOTES
5. ELECTRICAL NOTES
6. PLUMBING NOTES
7. FINISHES NOTES
8. LANDSCAPE NOTES
9. SPECIAL NOTES

ATTACHMENT A



PROJECT: Harold Park - Precinct 1  
 CLIENT: Council NSW  
 ARCHITECT: mirvac  
 ENGINEER: HASSELL  
 MECHANICAL: Mirvac Design  
 ELECTRICAL: Mirvac Design  
 PLUMBING: Mirvac Design  
 LANDSCAPE: Mirvac Design  
 DEVELOPMENT APPLICATION: Elevations - Building B  
 PRECINCT 1  
 DRAWING NO: DA-P1-021  
 DATE: Feb 2012  
 SCALE: @ A1: As indicated  
 DRAWN BY: 1751  
 CHECKED BY: 1751  
 APPROVED BY: 1751  
 REV: B

**AMENDED DRAWINGS**  
- 6 JUN 2012



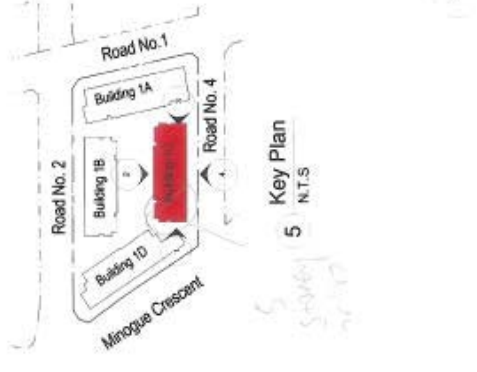
1 Building C - South West Elevation  
1 : 200

2 Building C - North West Elevation  
1 : 200

3 Building C - North East Elevation  
1 : 200



4 Building C - South East Elevation  
1 : 200



**NOTES:**  
1. GENERAL NOTES  
2. SITE SPECIFIC NOTES  
3. MATERIALS  
4. FINISHES  
5. LIGHTING  
6. MECHANICAL  
7. ELECTRICAL  
8. PLUMBING  
9. SANITARY  
10. PAINTS  
11. GLAZING  
12. FLOORING  
13. ROOFING  
14. CLADDING  
15. SIGNAGE  
16. SECURITY  
17. FURNITURE  
18. EQUIPMENT  
19. LANDSCAPE  
20. UTILITIES  
21. SERVICES  
22. CONSTRAINTS  
23. APPROVALS  
24. REFERENCES  
25. CONTACTS  
26. DATES  
27. REVISIONS  
28. DRAWING NO. DA-P1-022  
29. SHEET NO. B

Development Application  
**Elevations - Building C**

**HAROLD PARK - PRECINCT 1**  
CARRON NSW

**MIRVAC**

**MIRVAC DESIGN**

**HASSELL**

**DATE:** 06/06/2012  
**DATE:** 06/06/2012  
**SCALE:** 1:200  
**PROJECT:** Harold Park - Precinct 1  
**DRAWING NO.:** DA-P1-022  
**SHEET NO.:** B

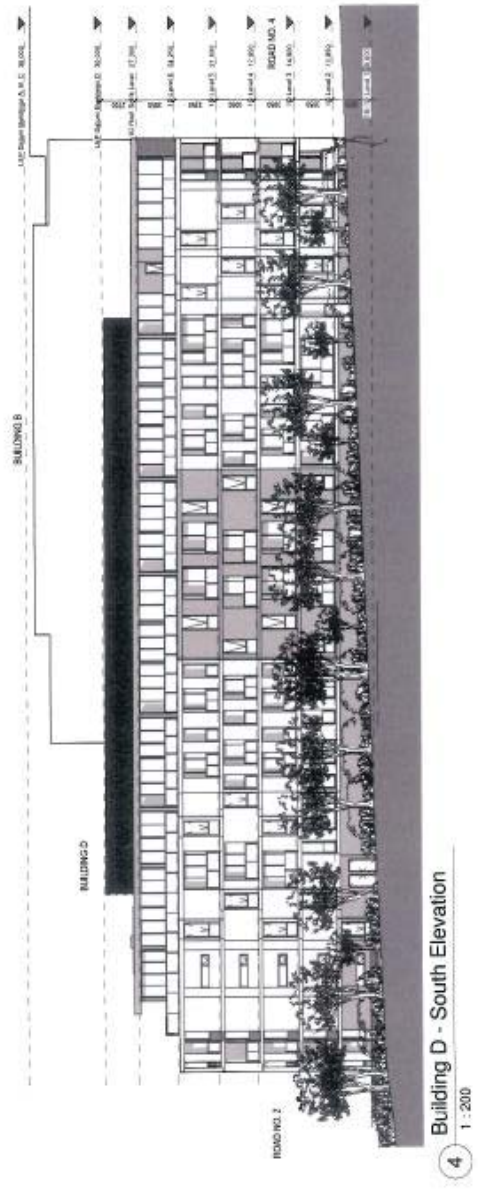
# ATTACHMENT A



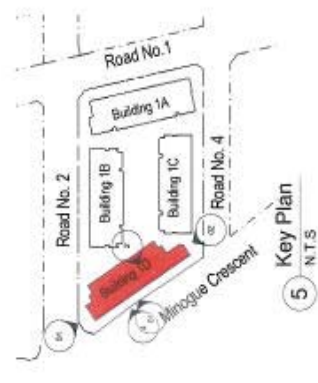
1 Building D - West Elevation  
1 : 200

2 Building D - North Elevation  
1 : 200

3 Building D - East Elevation  
1 : 200



4 Building D - South Elevation  
1 : 200

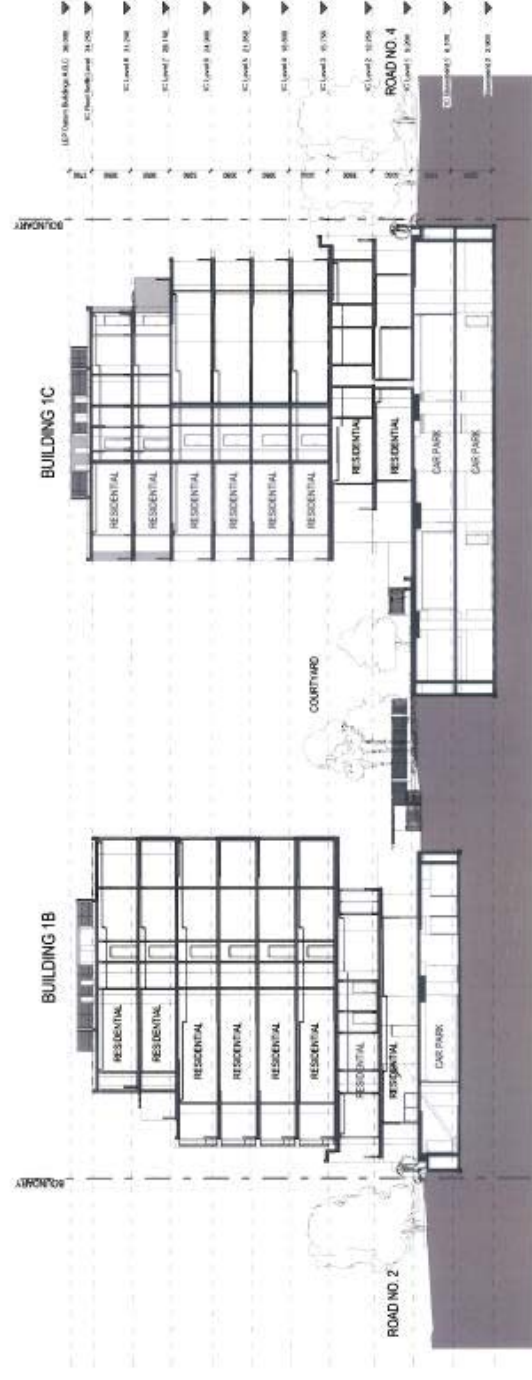
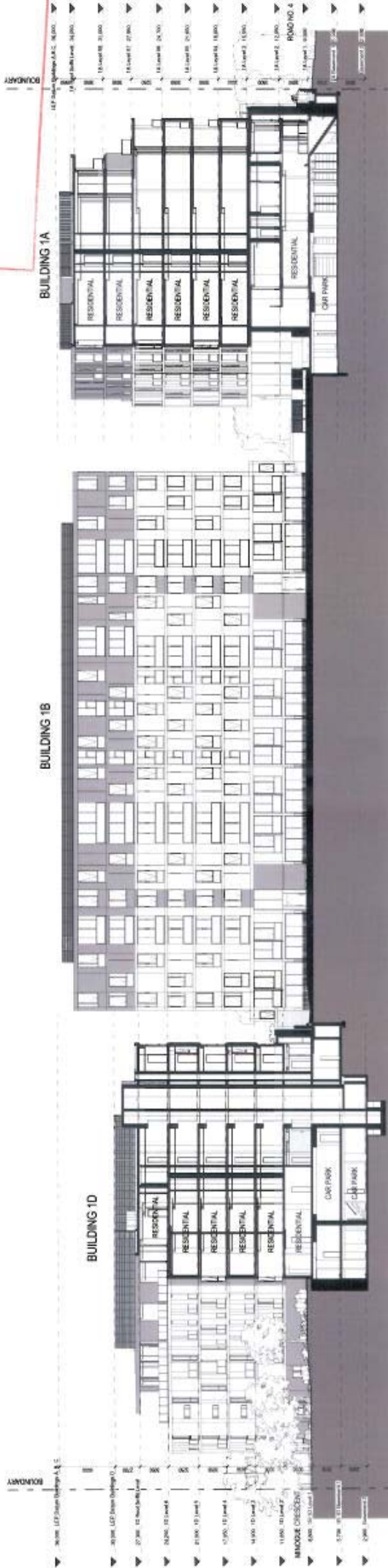


**NOTES:**

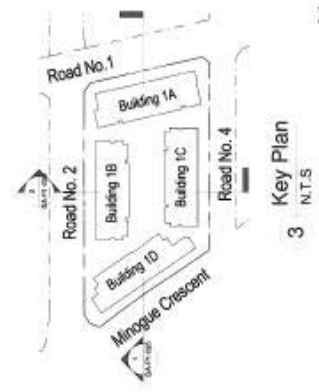
1. Refer to the Development Application for further details.
2. The drawings are for information only and are not to be used for construction.
3. The drawings are for information only and are not to be used for construction.
4. The drawings are for information only and are not to be used for construction.
5. The drawings are for information only and are not to be used for construction.

# AMENDED DRAWINGS

- 6 JUN 2012



# ATTACHMENT A



**NOTES ON**

1. GENERAL NOTES
2. REFER TO THE ARCHITECTURAL DRAWINGS FOR THE LATEST REVISIONS.
3. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CURRENT AUSTRALIAN STANDARDS AND CODES OF PRACTICE.
4. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS FOUND NO OBVIOUS OBSTRUCTIONS TO THE PROPOSED DEVELOPMENT.
5. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS FOUND NO OBVIOUS OBSTRUCTIONS TO THE PROPOSED DEVELOPMENT.
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PROJECT: Harold Park - Precinct 1  
 Check: NSW

CLIENT: mirvac

DESIGNER: Mirvac Design

ARCHITECT: HASSELL

DEVELOPMENT APPLICATION: Section - A & B  
 Precinct 1

DATE: 6 JUN 2012  
 DRAWING NO: DA-P1-025



**LEGEND:**  
FACIAD WALL MATERIAL TYPES

<b>A</b> Louvre Screen Treatment	<b>E</b> Feature Coloured Glass Type 1	<b>J</b> Feature Coloured Glass Type 2	<b>I</b> Natural Stone Panel
<b>B</b> Metal Finish Colour	<b>F</b> Clear Glass	<b>K</b> Green Glass Tinted Glass Type 2	<b>J</b> Green Glass Tinted Glass Type 1
<b>C</b> Spigot Panel	<b>G</b> Etched Glass Type 2	<b>L</b> Dark Glass Colour	<b>K</b> Dark Glass Colour
<b>D</b> Etched Panel Type 1	<b>H</b> Feature Coloured Glass Type 1	<b>M</b> Panel Glass Colour	<b>L</b> Panel Glass Colour

Note: Refer to Facade Elevation Detail (DA-P-05) for material images.

2 Facade Detail - Building A - South West Elevation  
N.T.S.

1 Facade Detail - Building A - North East Elevation  
N.T.S.

**NOTES:**

1. All dimensions are in millimetres unless otherwise stated.
2. The site is located at the intersection of the ...
3. The building is to be constructed in accordance with the ...
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100. The building is to be constructed in accordance with the ...

**CLIENT:** Harold Park - Precinct 1  
CARRINGTON, NSW

**ARCHITECT:** MIRVAC DESIGN  
1/110 CARRINGTON ROAD  
CARRINGTON, NSW 2158

**ENGINEER:** HASSELL  
1/110 CARRINGTON ROAD  
CARRINGTON, NSW 2158

**DEVELOPMENT APPLICATION:** Facade Elevations - Building A

**DATE:** 1800 Feb 2012  
JOB NO: 1751  
DRAWING NO: DA-P1-055

**SCALE:** A1 - As indicated  
A2 - B

**AMENDED DRAWINGS**  
 - 6 JUN 2012



**LEGEND:**

**FACIAD WALL MATERIAL TYPES**

<b>A</b> Louvre Cladding Treatment	<b>E</b> Feature Coloured Glass Type 1	<b>I</b> Neutral Stone Panel
<b>B</b> Metal Finish Color	<b>F</b> Clear Glass	<b>J</b> Entry Doors Timber Frame Type 1
<b>C</b> Spandrel Panels	<b>G</b> Exposed Timber Frame Type 2	<b>K</b> Entry Doors Timber Frame Type 2
<b>D</b> Exposed Timber Frame Type 1	<b>H</b> Feature Coloured Glass Type 2	<b>L</b> Track Back Color
		<b>M</b> Metal Finish Color

Notes: (A) to (M) Facade Elements - Exposed External Finishes Only (DAP-105) for Material Finishes

2 Facade Detail - Building C - North West Elevation  
N.T.S.

1 Facade Detail - Building C - South East Elevation  
N.T.S.

**NOTES:**

1. REFER TO ARCHITECTURAL SPECIFICATIONS FOR MATERIALS AND FINISHES.
2. THE FACADE ELEMENTS SHOWN ARE FOR INFORMATION ONLY AND ARE NOT TO BE CONSIDERED AS A FINAL DESIGN.
3. THE FACADE ELEMENTS SHOWN ARE FOR INFORMATION ONLY AND ARE NOT TO BE CONSIDERED AS A FINAL DESIGN.
4. THE FACADE ELEMENTS SHOWN ARE FOR INFORMATION ONLY AND ARE NOT TO BE CONSIDERED AS A FINAL DESIGN.
5. THE FACADE ELEMENTS SHOWN ARE FOR INFORMATION ONLY AND ARE NOT TO BE CONSIDERED AS A FINAL DESIGN.

PROJECT: **Harold Park - Precinct 1**  
 CLIENT: **GMNSW, NSW**

ARCHITECT: **MIRVAC**  
 ARCHITECT: **MIRVAC DESIGN**

DEVELOPMENT APPLICATION: **Facade Elevations - Building C**

DATE: Feb 2012  
 DRAWING NO: **DA-P1-056**  
 REV: **B**



3 NTS  
STREET VIEW 1

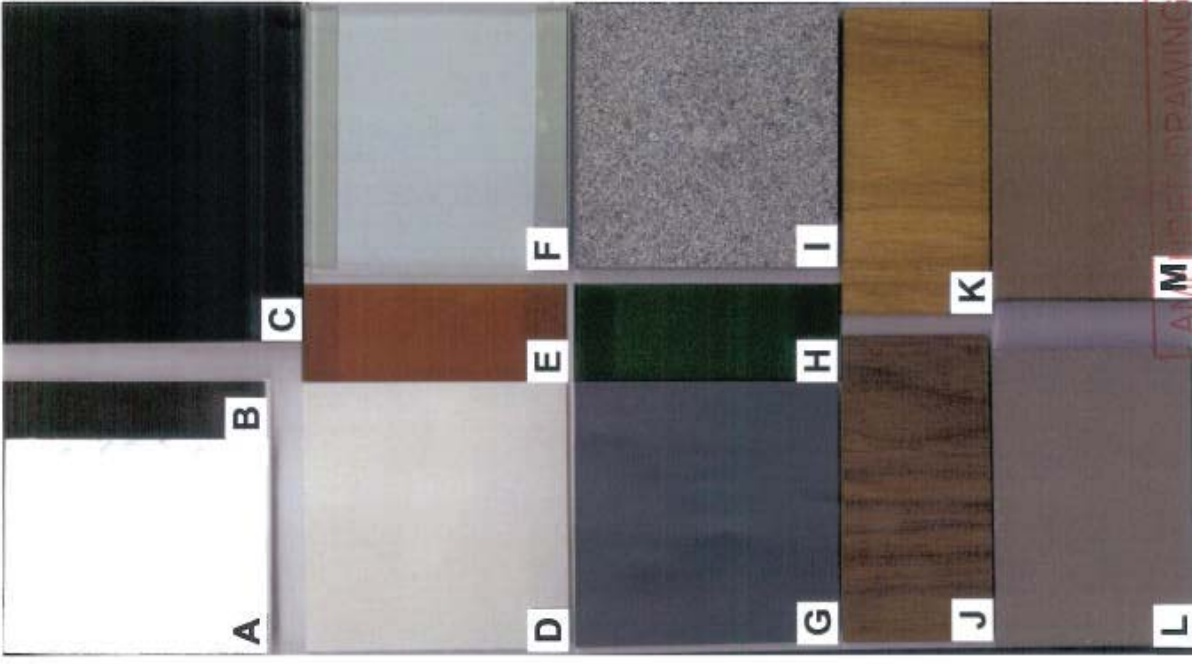


4 NTS  
STREET VIEW 2

**LEGEND:**  
**FAÇADE WALL MATERIAL TYPES**

<b>A</b> Light Colored Treatment	<b>E</b> Natural Coloured Glass Type 1	<b>I</b> Natural Stone Panel
<b>B</b> Metal Mesh Cover	<b>F</b> Dark Glass	<b>J</b> Grey Glass - Mirror Finish Type 1
<b>C</b> Spandrel Panel	<b>G</b> External Paint Finish Type 1	<b>K</b> Grey Glass - Mirror Finish Type 2
<b>D</b> External Paint Finish Type 1	<b>H</b> External Coloured Glass Type 2	<b>L</b> Fine Mesh Colour
		<b>M</b> Fine Mesh Colour

Note: Refer to Finish Schedule - External External Finishes (Dep. 24.11.2011) for Material Details.



2 NTS  
Material Board Image

**AMMENDED DRAWINGS**  
 - 6 JUN 2012



1 N.T.S.  
Typical Front Elevation

**NOTES:**

1. All materials to be used in this project are to be selected from the list of materials provided in this schedule.
2. All materials to be used in this project are to be selected from the list of materials provided in this schedule.
3. All materials to be used in this project are to be selected from the list of materials provided in this schedule.
4. All materials to be used in this project are to be selected from the list of materials provided in this schedule.
5. All materials to be used in this project are to be selected from the list of materials provided in this schedule.
6. All materials to be used in this project are to be selected from the list of materials provided in this schedule.
7. All materials to be used in this project are to be selected from the list of materials provided in this schedule.
8. All materials to be used in this project are to be selected from the list of materials provided in this schedule.
9. All materials to be used in this project are to be selected from the list of materials provided in this schedule.
10. All materials to be used in this project are to be selected from the list of materials provided in this schedule.

Date: 11/05/12  
 Job No: 1751  
 Date: Feb 2012  
 Scale: A1  
 Drawing No: DA-P1-057  
 Rev: B

**Development Application**  
**Elevations - Exterior**  
**Finishes Board**

**MIRVAC**  
 11/05/12  
 11/05/12  
 11/05/12  
 11/05/12

**HASSELL**  
 11/05/12  
 11/05/12  
 11/05/12  
 11/05/12

**Mirvac Design**  
 11/05/12  
 11/05/12  
 11/05/12  
 11/05/12

**PROJECT:**  
**Harold Park - Precinct 1**  
 GOMH, NSW